

THE CONTRACTOR SHALL VERIFY ALL JOB CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK. SACRAMENTO DESIGN GROUP LIMITS ITS RESPONSIBILITY TO INFORMATION REPRESENTED THEREIN AND THE INTENDED USE THEREOF AND ASSUMES NO RESPONSIBILITY FOR ACTUAL AS-BUILT CONDITIONS.

GENERAL BUILDING NOTES

SCOPE:

1.01 THE CONSTRUCTION CONTRACT RELATED TO THE WORK OF THIS PROJECT IS HEREBY MADE A PART OF THESE DRAWINGS AS THOUGH FULLY CONTAINED THEREIN.

1.02 THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL COMPLETE ALL WORK REQUIRED TO RECEIVE A CERTIFICATE OF OCCUPANCY FROM THE BUILDING OFFICIAL HAVING JURISDICTION OVER THIS PROJECT. THE SCOPE OF PERMIT COMPLIANCE WORK IS INCLUDED IN THE GENERAL CONTRACT FOR THE WORK OF THIS PROJECT. THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR AND GOVERNED BY ALL OF THE REQUIREMENTS THEREUNDER.

1.03 PRIOR TO CONTRACT APPROVAL, THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VISIT THE PROJECT SITE, AND BY THEIR OWN INVESTIGATION, DETERMINE EXISTING SITE CONDITIONS AS TO THE QUANTITIES OF MATERIALS, LABOR HOURS, AND ANY OTHER COST ASSOCIATED WITH WORK THAT IS TO BE DONE UNDER THEIR CONTRACT AND AS REQUIRED TO PASS ALL BUILDING PERMIT INSPECTIONS. ALL MODIFICATIONS REQUIRED BY THE INSPECTION AUTHORITY SHALL BE MADE BY EACH SUBCONTRACTOR AT THEIR EXPENSE.

1.04 PRIOR TO CONTRACT APPROVAL, THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY AND CONFIRM THE DESIGN REQUIREMENTS OF ALL NEW AND EXISTING BUILDING, STRUCTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS AND REPORT ANY AMBIGUITIES OR DISCREPANCIES CONTAINED IN THE CONTRACT TO THE OWNER IN WRITING. ALL MODIFICATIONS REQUIRED TO COMPLETE THE CONTRACT RESULTING FROM AMBIGUITIES OR DISCREPANCIES NOT REPORTED PRIOR TO CONTRACT APPROVAL SHALL BE MADE BY EACH SUBCONTRACTOR AT THEIR EXPENSE.

APPLICABLE LAWS, ORDINANCES, REGULATIONS AND STANDARDS

2.01 THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL CONFORM TO THE LATEST APPLICABLE, ADOPTED EDITION OF THE CALIFORNIA CODE OF REGULATIONS, TITLE 24+ UNIFORM BUILDING CODE+ UNIFORM PLUMBING CODE+ UNIFORM MECHANICAL CODE+ NATIONAL ELECTRICAL CODE+ AND ALL LOCAL CODES AND ORDINANCES REQUIRED TO RECEIVE A CERTIFICATE OF OCCUPANCY FROM THE BUILDING OFFICIAL HAVING JURISDICTION OVER THE PROJECT.

2.02 THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL PERFORM ALL WORK REQUIRED BY APPLICABLE BUILDING CODES AND REGULATIONS TO PASS ALL REQUIRED BUILDING INSPECTIONS.

PERMITS, LICENSES, INSPECTIONS AND FEES

3.01 THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PLAN REVIEW, PERMIT, LICENSE, AND INSPECTION APPROVALS. ALL FEES REQUIRED FOR APPROVAL SHALL BE PAID BY THE OWNER.

GUARANTEE

4.01 THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL GUARANTEE THAT ALL WORK REQUIRED TO CONSTRUCT THE PROJECT BE A COMPLETE WORKING SYSTEM AND SHALL OPERATE FREE FROM DEFECTS IN WORKMANSHIP AND MATERIALS. THE CONTRACTOR AGREES TO REPLACE, WITHOUT EXPENSE TO THE OWNER, ANY PROJECT COMPONENTS WHICH THE OWNER DETERMINES TO BE DEFECTIVE WITHIN ONE (1) CALENDAR YEAR FROM THE DATE OF FINAL CONTRACT ACCEPTANCE.

DATA AND MEASUREMENTS:

5.01 DRAWING DATA CONTAINED HEREIN IS AS EXACT AS COULD BE DETERMINED WITHIN THE PROJECT DESIGNER'S DESIGN SCOPE OF SERVICES RENDERED. AS SUCH THE ABSOLUTE ACCURACY OF THE DESIGN DATA IS NOT GUARANTEED. THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL ENDEAVOR TO OBTAIN, VERIFY AND CONFIRM EXACT DESIGN DATA ON SITE AND SUITABLY ADAPT THE WORK TO CONFORM TO EXACT CONDITIONS ON SITE. THE CONTRACTOR SHALL REPORT ANY DESIGN DATA AMBIGUITIES OR DISCREPANCIES CONTAINED IN THE CONTRACT TO THE OWNER IN WRITING. ALL MODIFICATIONS REQUIRED TO ADAPT THE WORK SHALL BE MADE BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

5.02 DO NOT SCALE THE DRAWINGS, WRITTEN DIMENSIONS AND ACTUAL BUILDING MEASUREMENTS TAKE PRECEDENCE OVER SCALED DRAWING INFORMATION.

5.03 DIMENSIONS TO DOORS, WINDOWS, AND OPENINGS ARE NOMINAL WIDTHS, REFER TO THE MANUFACTURER FOR ACTUAL ROUGH OPENINGS.

5.04 ALL WALL DIMENSIONS ARE NOMINAL, FACE OF STUD TO FACE OF STUD. WALL FINISH DIMENSIONS ARE NOT TAKEN INTO ACCOUNT AND ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO DETERMINE PROPER CLEARANCES.

SUBSTITUTIONS FOR SPECIFIED MATERIALS:

6.01 SPECIFIC TRADE NAMES MENTIONED IN THE DRAWINGS ARE FOR THE PURPOSES OF ESTABLISHING MINIMUM STANDARDS OF QUALITY, STYLE OR TYPE, AND SHALL NOT BE CONSTRUED TO RESTRICT SUBSTITUTIONS. ALL SUBSTITUTIONS SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER IN WRITING WITHIN A SUFFICIENT TIME FRAME AS NOT TO DELAY PROJECT COMPLETION.

CLEAN UP AND START UP RESPONSIBILITIES

7.01 AFTER COMPLETION OF THE WORK DESCRIBED IN THEIR RESPECTIVE CONTRACTS AND PRIOR TO ACCEPTANCE, THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL THOROUGHLY CLEAN ALL EXPOSED SURFACES OF THEIR RESPECTIVE WORK COMPLETED.

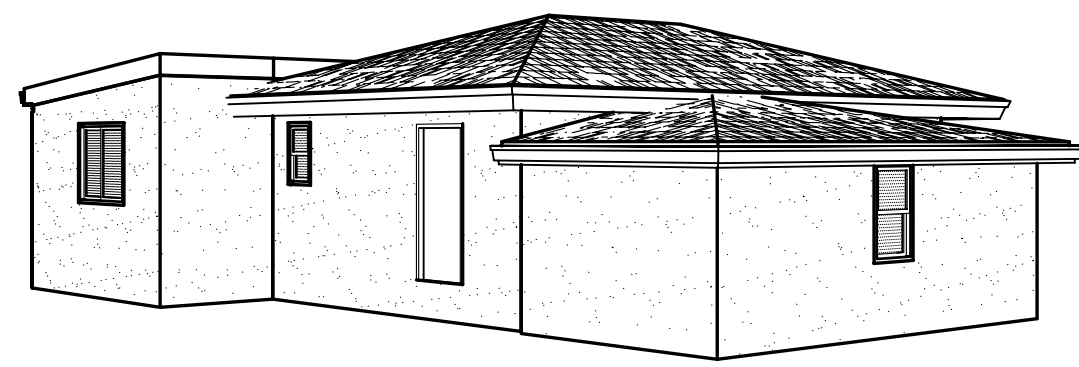
7.02 AFTER COMPLETION OF THE WORK DESCRIBED IN THEIR RESPECTIVE CONTRACTS AND PRIOR TO PROJECT ACCEPTANCE, THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL THOROUGHLY TEST AND PROPERLY START UP ALL PROJECT EQUIPMENT AS REQUIRED TO SECURE AND MAINTAIN SPECIFIED EQUIPMENT WARRANTIES. THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL REVIEW ALL MANUFACTURER'S RECOMMENDED OPERATIONS PROCEDURE WITH THE OWNER PRIOR TO PROJECT ACCEPTANCE.

AREA OF WORK

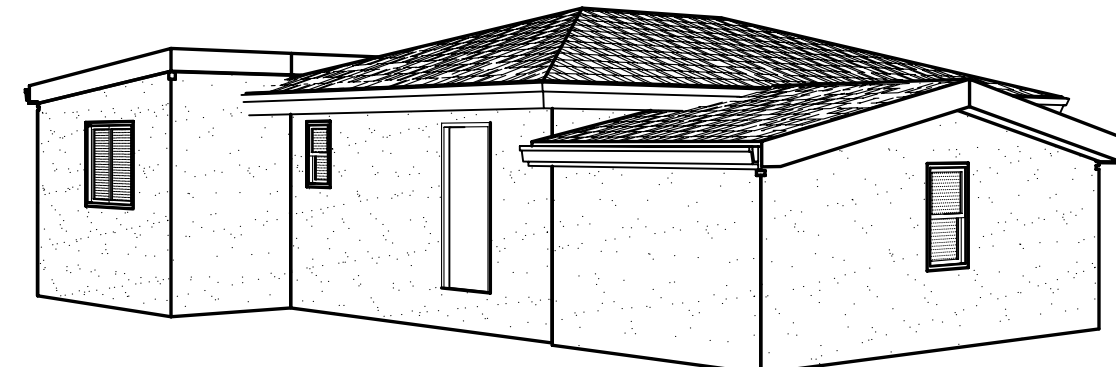
10.01 THE GENERAL ENGINEERING CONTRACTOR SHALL REMOVE ALL EXISTING LANDSCAPE MATERIAL NOT PROTECTED, CONCRETE PATIOS/WALKWAYS, YARD FENCING AND POST FOOTINGS, GARAGE STRUCTURE AND FOUNDATION, AND ALL ABANDONED UTILITIES. THE CONTRACTOR SHALL REMOVE EXISTING SITE LIGHTING AND IRRIGATION SYSTEM WITHIN THE AREA OF WORK, TERMINATE/CAP-OFF DISCONNECTION POINTS, AND TURN OVER ALL EXISTING SYSTEM COMPONENTS TO THE OWNER FOR FUTURE USE. ALL TOP SOIL SHALL BE REMOVED AND STORED FOR USE IN FINISH GRADING.

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EXISTING



PROPOSED

SHEET INDEX

Sheet Number	Sheet Title
A1.11	COVER SHEET
A2.11	SITE PLAN
A3.11	ROOF DEMOLITION AND FRAMING PLAN

These drawings are instruments of service and are the property of Sacramento Design Group. All design information contained in these drawings are for use on the specified project and shall not be used otherwise without the expressed written permission of Sacramento Design Group.

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TITLES:

COVER SHEET

- CONST MODIFICATION 02
- CONST MODIFICATION 01
- APPROVED PERMIT SET
- PLAN CHECK P003
- PLAN CHECK P001
- PLAN CHECK P002
- CONSTRUCTION DOCUMENTS 2009.07.23
- DESIGN DEVELOPMENT
- SCHEMATIC DESIGN

SHEET:

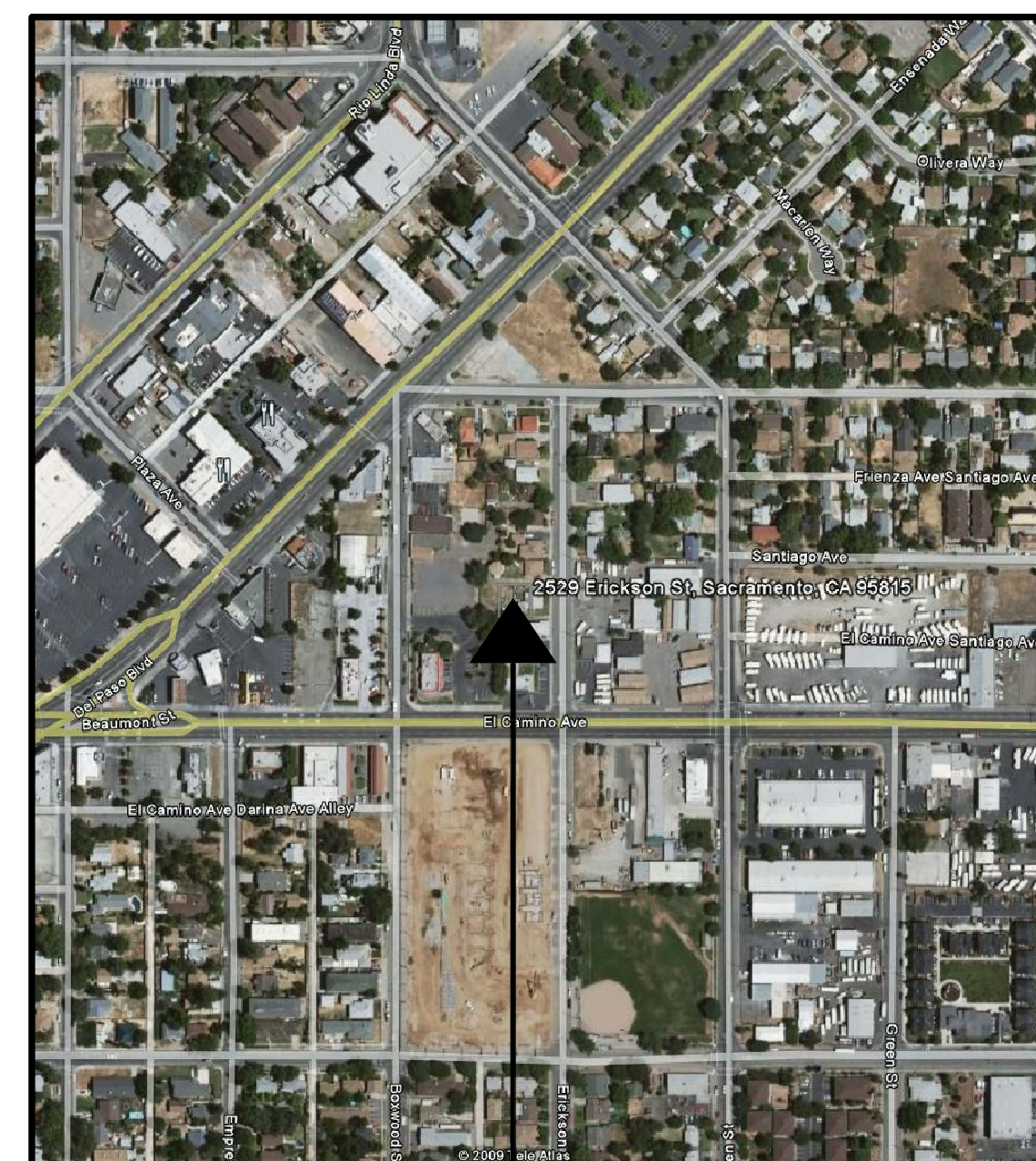
A1.11

SHEET: 1 OF 3 SHEETS

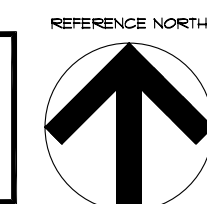
BUILDING SHEET ABBREVIATIONS

AB	ANCHOR BOLT	FF	FINISH FLOOR	N	NORTH	T	TREAD
ADJ	ADJACENT	FIX	FIXTURE	O/	OVER	TEMP	TEMPERED
ALUM	ALUMINUM	FLUOR	FLUORESCENT	OC	ON CENTER	TOC	TOP OF CONCRETE
BM	BEAM	FP	FIRE PLACE	OCFI	OWNER FURNISHED CONTRACTOR INSTALLED	TOG	TOP OF GRADE
BOW	BOTTOM OF WALL					TOF	TOP OF FLOOR
BLKG	BLOCKING	GA	GAUGE			TOP	TOP OF PAVEMENT
BRD	BOARD	GFCI	GROUND FAULT INTERRUPTOR	PB	PUSH BUTTON	TOG	TOP OF SLAB
CC	CENTER TO CENTER	GALV	GALVANIZED	PH	PHONE	TOU	TOP OF WALL
CL	CENTERLINE	GL	GLASS	PL	PLATE	TV	TELEVISION
CEM	CEMENT					TYP	TYPICAL
CER	CERAMIC	GYP	GYPSONIUM	POC	POINT OF CONNECTION	UCR	UNDER COUNTER REFRIG.
CJ	CONTROL JOINT	H	HIGH OR HEIGHT	PT	PRESSURE TREATED	W	WEST
CLG	CEILING	HB	HOSE BIBB	R	RIBSER	W	WEST
CLR	CLEAR	JTS	JOIST	REF	REFRIGERATOR	W	WITH
						WC	WATER CLOSET
						WD	WOOD
CLO	CLOSET	LAV	LAVATORY	REINF	REINFORCED	WH	WATER HEATER
CO	CLEANOUT	LB	LOOSE BOLT	RM	ROOM	WP	WATER PROOF
CONC	CONCRETE	LIN	LINEN	RWD	REDWOOD	WUM	WELDED WIRE MESH
CONTIN	CONTINUOUS	LT	LIGHT	S	SOUTH		
DBL	DOUBLE	MANF	MANUFACTURER	SB	SET BACK		
DF	DOUGLAS FIR	MAX	MAXIMUM	SF	SQUARE FOOT		
DI	DRAIN INLET	MC	MEDICINE CABINET	SHGNG	SHEATHING		
DIA	DIAMETER	MIN	MINIMUM	SHUR	SHOWER		
DR	DOOR	MTL	METAL	SIM	SIMILAR		
DW	DISH WASHER			SIMP	'SIMPSON'		
E	EAST			SLD	SLIDING		
EL	ELEVATION			S4P	SHELF 4 POLE		
EQ	EQUAL			STRUCT	STRUCTURAL		

PROJECT VICINITY MAP



PROJECT LOCATION: APN: 265-0321-014
2529 ERICKSON ST.
SACRAMENTO, CA 95815



PROJECT DATA

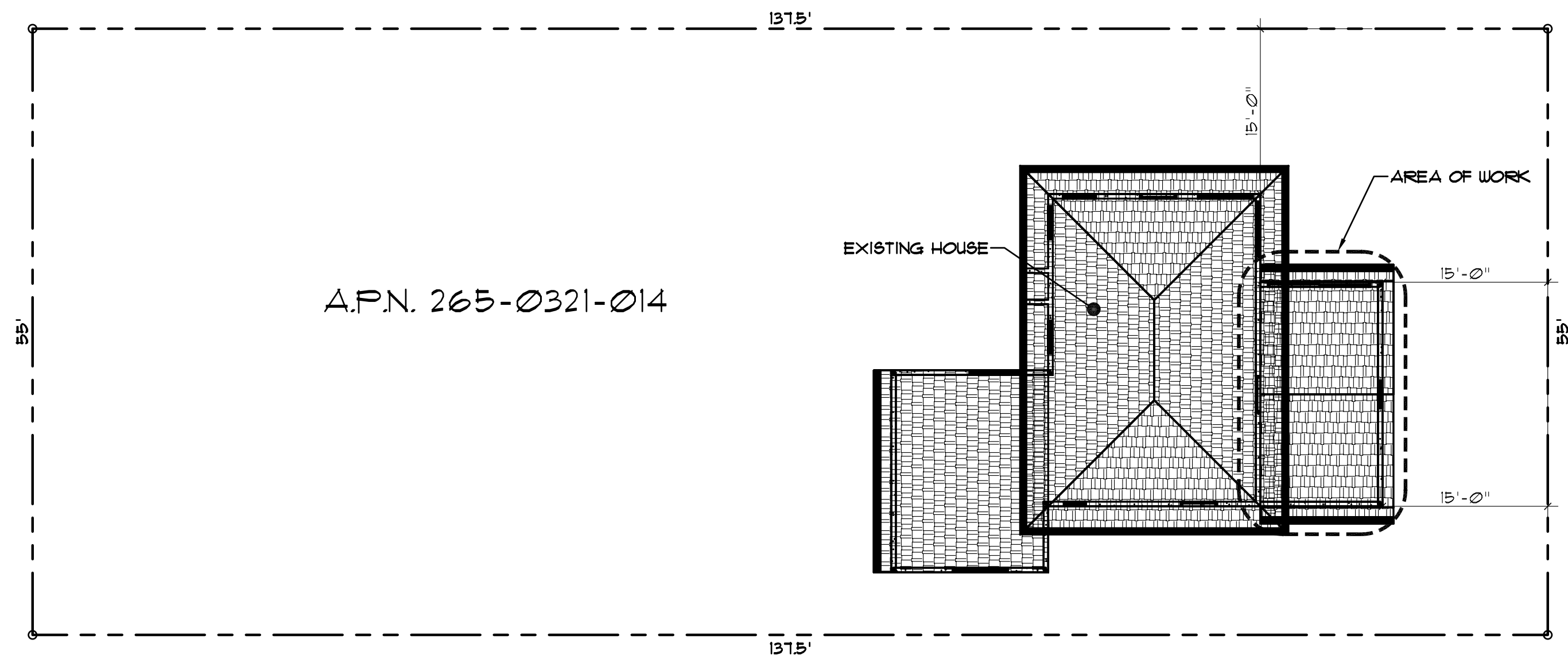
APPLICABLE BUILDING CODE:	2001 CBC, CBC, CFC, CVC AND CBC 2006 IBC, UMC, UPC AND NEC ASCE 1-09 2009 TITLE 24
OCCUPANCY GROUP:	R-3 (DWELLINGS)
CONSTRUCTION TYPE:	TYPE-V SINGLE STORY NOT FIRE-SPRINKLED
PROJECT SCOPE:	PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TOOLS AND TRANSPORTATION AS REQUIRED TO REPLACE THE ROOF FRAMING AND ROOF TO A SINGLE FAMILY, SINGLE STORY HOME.

BUILDING AREA

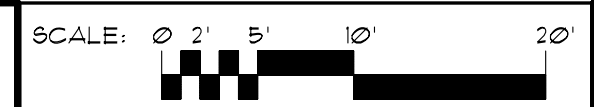
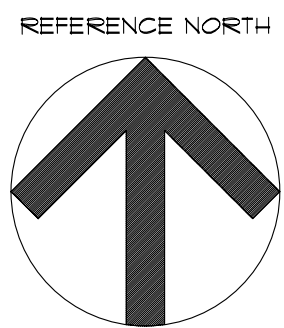
	EXISTING	PROPOSED	NET CHANGE
GARAGE	208 SF.	208 SF.	0 SF.
TOTAL UNCONDITIONED FLOOR AREA:	208 SF.	0 SF.	
FIRST FLOOR PLAN	151 SF.	151 SF.	0 SF.
TOTAL CONDITIONED FLOOR AREA:	151 SF.	0 SF.	
TOTAL BUILDING AREA UNDER ROOF:		959 SF.	

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SITE PLAN



ERICKSON ST.



1

LEGEND: SITE PLAN

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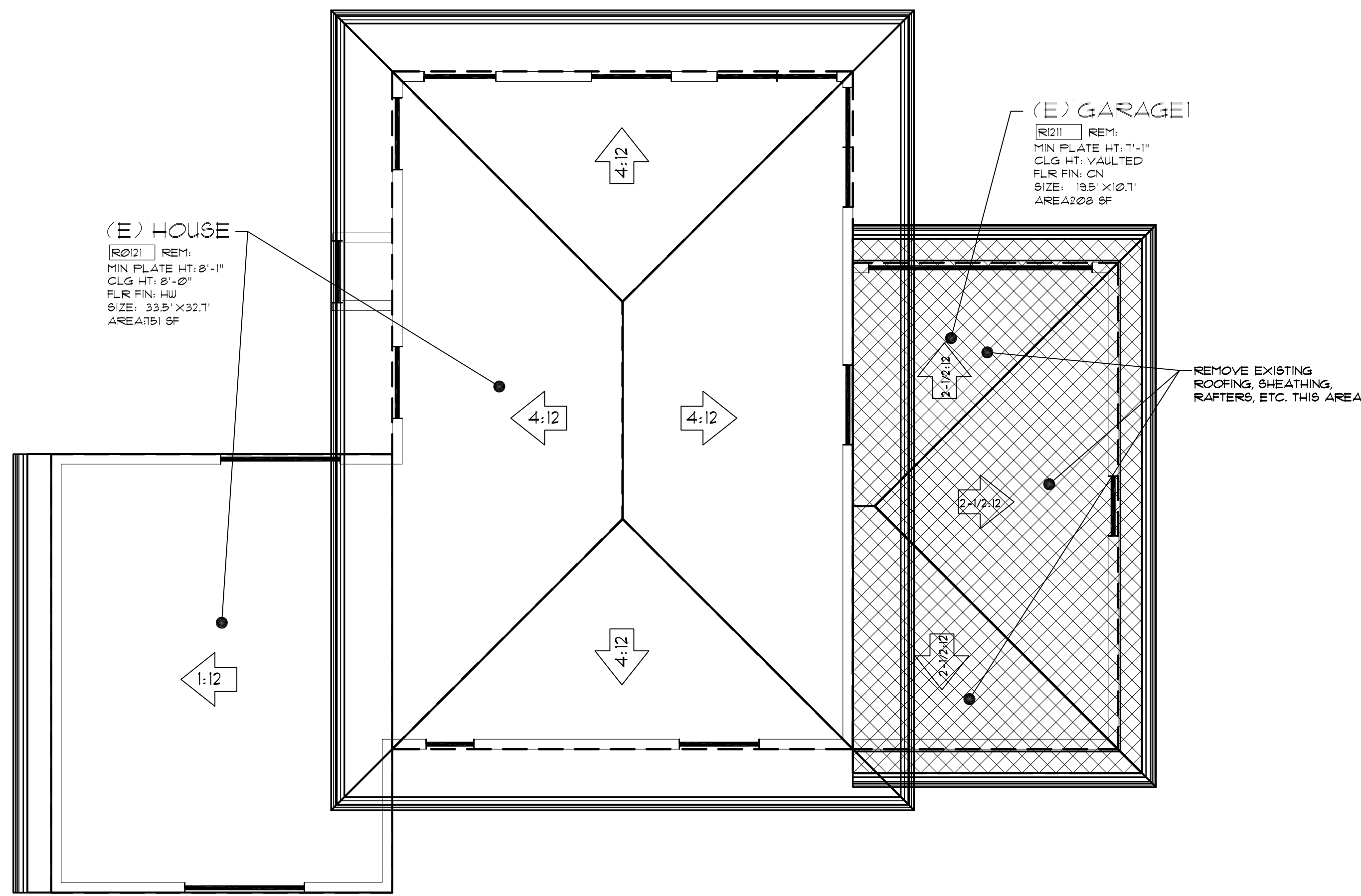
- CONST MODIFICATION 02
- CONST MODIFICATION 01
- APPROVED PERMIT SET
- PLAN CHECK PC03
- PLAN CHECK PC02
- PLAN CHECK PC01
- CONSTRUCTION DOCUMENTS 2009.0123
- DESIGN DEVELOPMENT
- SCHEMATIC DESIGN

SHEET:

A2.11

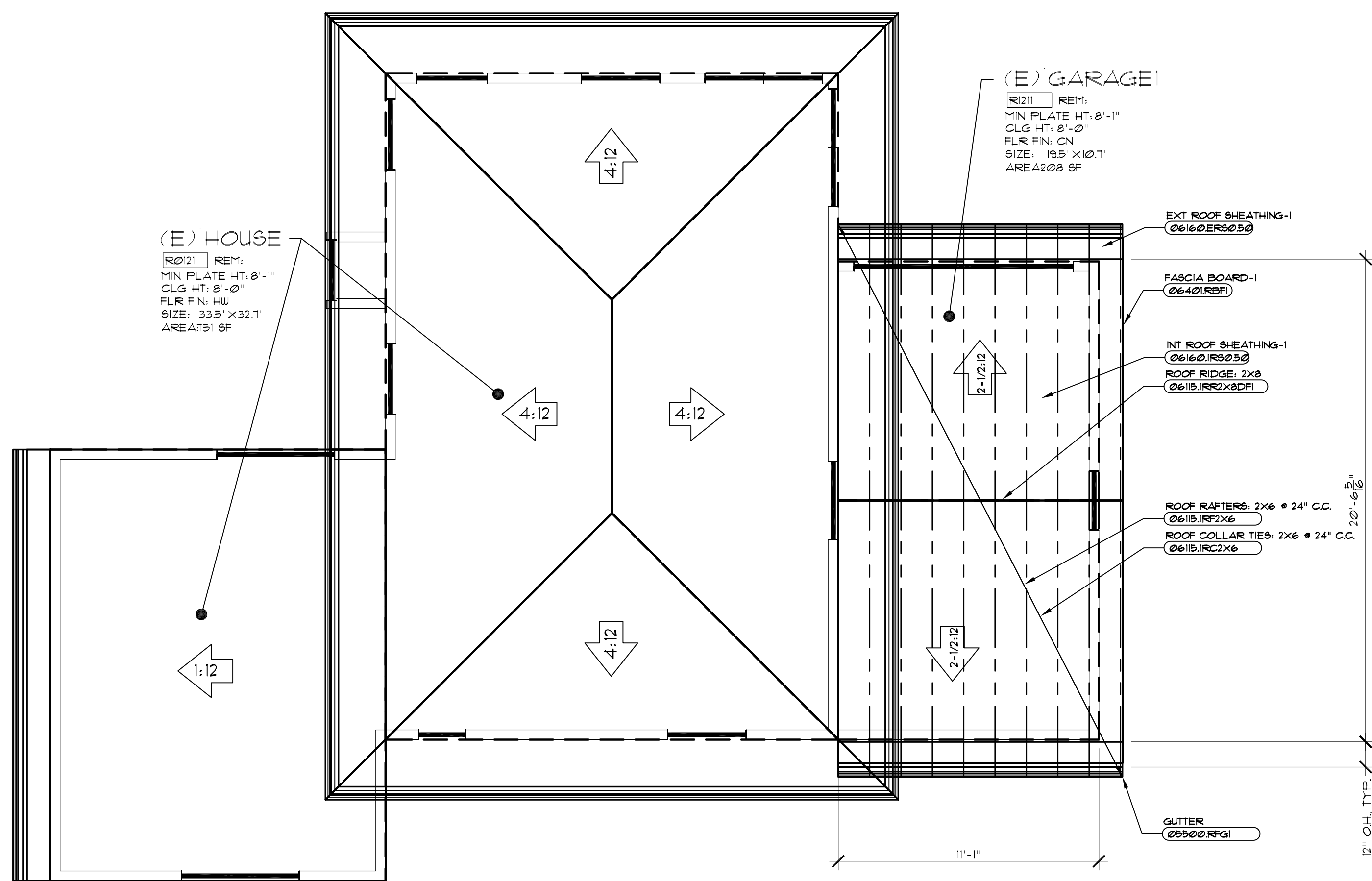
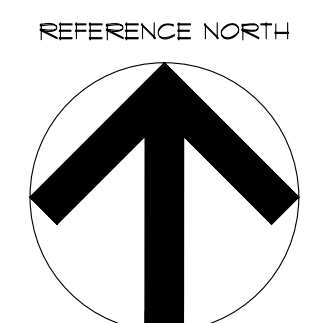
SHEET: 2 OF 3 SHEETS

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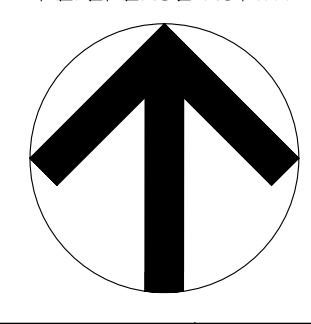
DEMOLITION ROOF PLAN

SCALE: 0 1' 2' 4' 8'



FRAMING ROOF PLAN

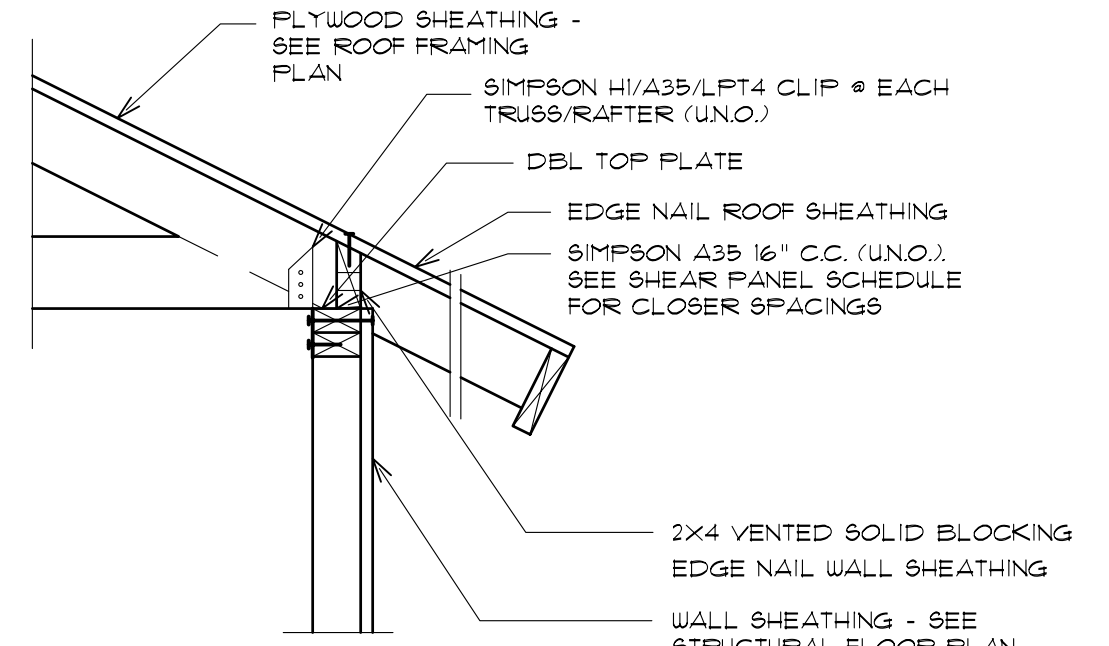
SCALE: 0 1' 2' 4' 8' 12'



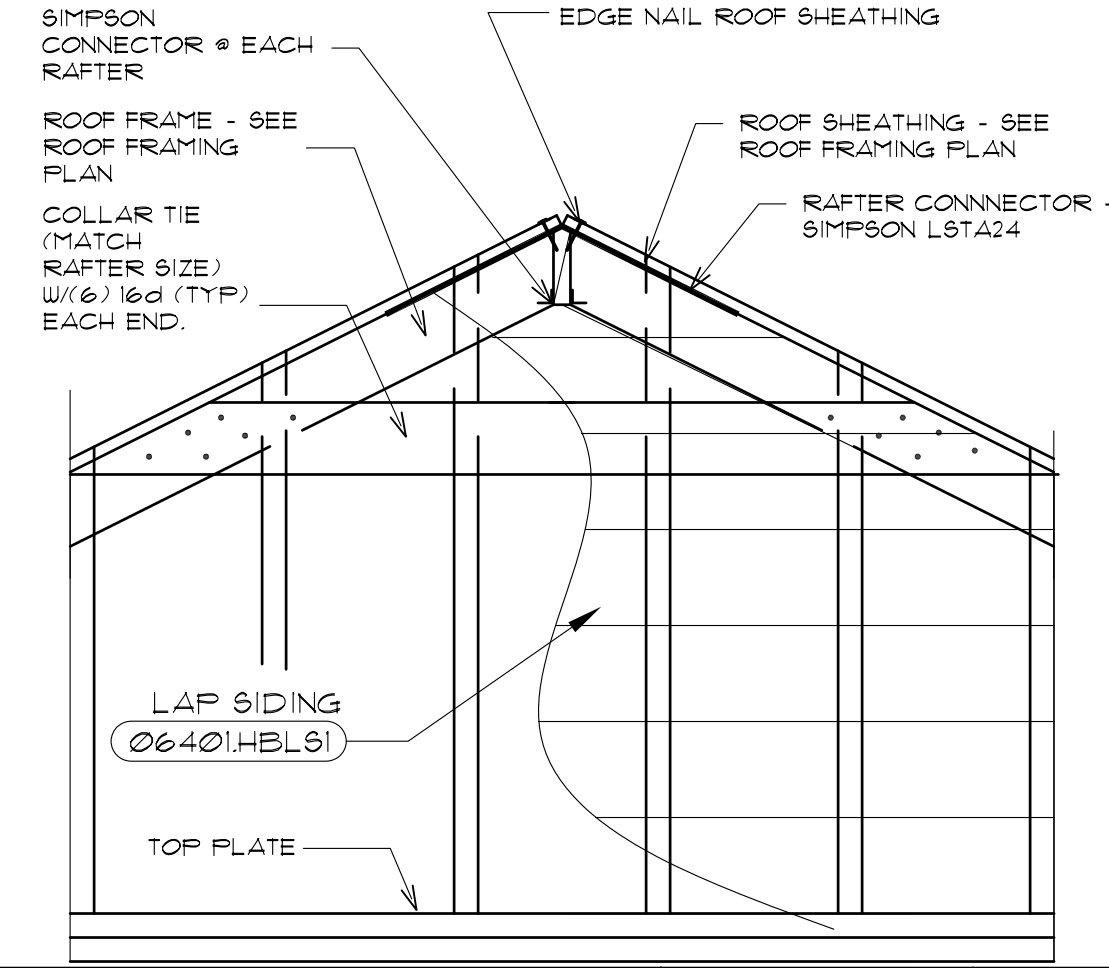
LEGEND: FRAMING ROOFS

(06160ERS050)	EXTERIOR ROOF SHEATHING-1 (OVER EXTERIOR SPACE), ROOF SHEATHING @ EXPOSED OVERHANG: 15/32" APA RATED ACX PLYWOOD SHEATHING (BEST FACE DOWN) W/ 8d COMMON @ 6" C.C. @ EDGE/BOUNDARY AND 12" C.C. @ FIELD (TYPICAL).
(06160IRS050)	INTERIOR ROOF SHEATHING-1 (OVER INTERIOR SPACE), 15/32" APA RATED 24/0 EXPOSURE 1 SHEATHING W/ 8d COMMON @ 6" C.C. @ EDGE/BOUNDARY/DAGLINES AND 12" C.C. @ FIELD (TYPICAL). ALL PANEL EDGES BLOCKED, LAY SHEATHING PERPENDICULAR TO ROOF RAFTERS/TRUSSES AND STAGGER JOINTS AND EXTEND ROOF SHEATHING BELOW OVERFRAME AREAS (TYP).
(06401RBF)	ROOF BOARD FASCIA-1: 2X8 DF#2 PAINT AS SELECTED BY OWNER (TYP).
(06151RR2X8DF)	ROOF RIDGE: 2X8 DF#1 (TYP.) SEE DETAIL 1
(06151RF2X6)	ROOF RAFTERS: 2X6 DF#2 @ 24" C.C. (TYP.) SEE DETAIL 2
(06151RC2X6)	ROOF COLLAR TIE: 2X6 DF#2 @ 24" O.C. (TYP.) SEE DETAIL 1
(05500RFG)	ROOF FASCIA GUTTER-1: 5" HIGH X 4" DEEP X 26 GA METAL FASCIA GUTTER PAINT AS SELECTED BY OWNER.
(06401HBL5)	HARDIEPLANK LAP SIDING-1: HARDIEPLANK LAP SIDING OVER 2-LAYERS OF GRADE D BUILDING PAPER AND PLYWOOD SHEATHING AS SELECTED BY OWNER.

HEADERS: 4X6 DF #1, TYP. UNO.



SHEAR TRANSFER DETAIL



ROOF RIDGE BEAM & COLLAR TIE DETAIL

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